

## **Appendix C**

### **Waskasoo Character Statements**

# Waskasoo Character Statements

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*City of Red Deer Planning Department*

These Character Statements form part of the Waskasoo Area Redevelopment Plan and are incorporated into and form part of The City of Red Deer Land Use Bylaw

*12/15/2015*

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# Waskasoo Character Statements

## Table of Contents

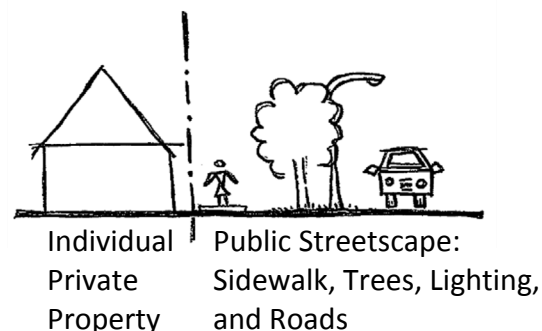
- 1. Introduction ..... 2
  - 1.1 Intent of Character Statements..... 2
  - 1.2 How Character Statements are Applied ..... 3
  - 1.3 Properties Designated Historical Preservation or Historical Significance..... 4
  - 1.4 Interpretation..... 4
- 2. 55th Street Character Statement ..... 5
  - 2.1 Character Statement Area Map ..... 5
  - 2.2 Context and History..... 5
  - 2.3 Common Forms and Scale of Buildings ..... 6
  - 2.4 Common Building Materials ..... 6
  - 2.5 Other Common Elements..... 6
  - 2.6 Recommended Design Elements..... 7
- 3. Waskasoo Historic Core Character Statement ..... 8
  - 3.1 Character Statement Area Map ..... 8
  - 3.2 Context and History..... 8
  - 3.3 Common Forms and Scale of Buildings ..... 10
  - 3.4 Common Building Materials ..... 11
  - 3.5 Other Common Elements..... 12
  - 3.6 Recommended Design Elements..... 12
- 4. Waskasoo A-20 Camp Character Statement ..... 14
  - 4.1 Character Statement Area Map ..... 14
  - 4.2 Context and History..... 14
  - 4.3 Common Forms and Scale of Buildings ..... 15
  - 4.4 Common Building Materials ..... 15
  - 4.5 Other Common Elements..... 16
  - 4.6 Recommended Design Elements..... 16
- 5. Waskasoo Environmental Character Statement ..... 17
  - 5.1 Character Statement Area Map ..... 17
  - 5.2 Context and History..... 17
  - 5.3 Common Forms and Scale of Buildings ..... 17
  - 5.4 Common Building Materials ..... 18
  - 5.5 Other Common Elements..... 18
  - 5.6 Recommended Design Elements..... 18
- 6. Definitions..... 20

## 1. Introduction

All neighbourhoods contain the same basic elements; individual properties, and public infrastructure such as streets, sidewalks, lighting, and utilities. What establishes the character of a neighbourhood is the relationship and design of these basic elements. When redevelopment of private property or public infrastructure occurs, concerns over losing the “character” of a neighbourhood are often raised. The following Character Statements define the “character” of a specific geographic area by capturing the design elements that make one geographic area different from another.

Character Statements are not necessary for every neighbourhood in The City of Red Deer, they are useful for specific geographic areas that meet the following criteria:

- They contain a combination of elements that together make an area unique or special; or
- The ‘Character’ is specifically identified and design guidance given to redeveloping an area intentionally.



Each Character Statement contains the following information which serves to define the overall characteristics:

- Character Statement Area Map
- Context and History
- Common Forms and Scale of Buildings
- Common Building Materials
- Other Common Elements
- Recommended Design Elements

### 1.1 Intent of Character Statements

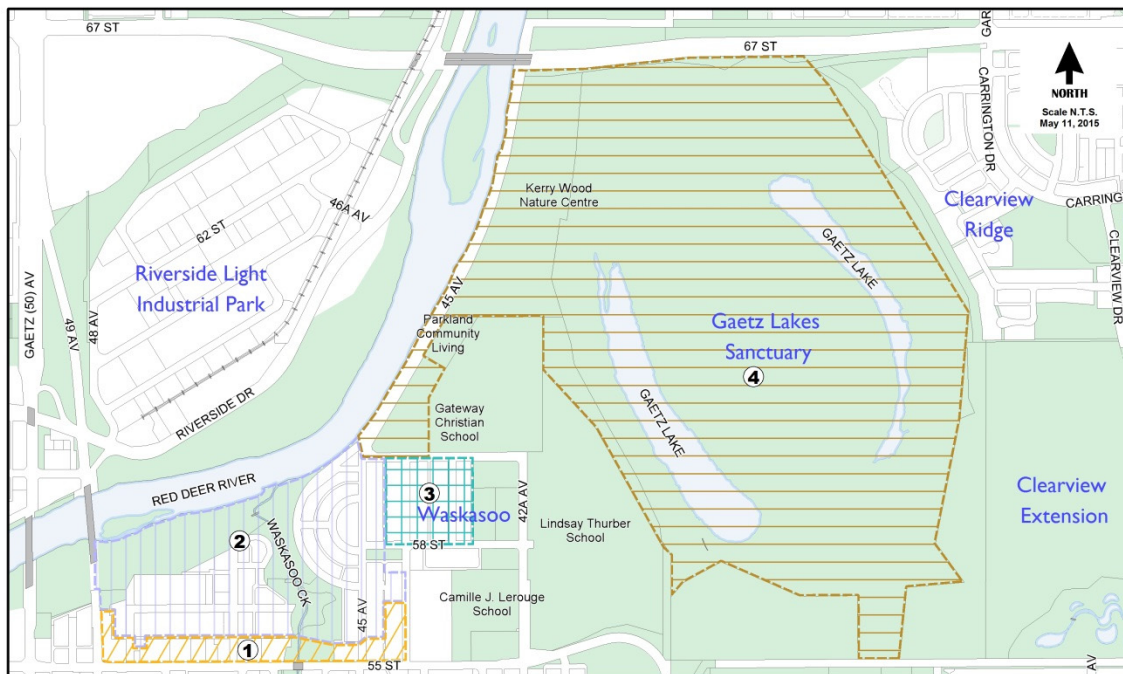
The intent of the Character Statements is to define some design parameters to which a new proposal for redevelopment within a defined area should adhere.

The Character Statements specific to the Waskasoo neighbourhood were developed with assistance from community members and the Waskasoo Community Association. Their assistance made it possible to create these Character Statements and their sincere efforts are greatly appreciated.

The Waskasoo neighbourhood is divided into four (4) distinct Character Areas, highlighted in the following map. Character Statements have been created for each of the four (4) Character Areas.







## WASKASOO PLAN AREA CHARACTER AREA MAP

- Plan Area Boundary
- ① 55 Street Character Area
- ② Historic Core Character Area
- ③ A-20 Camp Character Area
- ④ Environmental Character Area

All of the photographic images used in the following Character Statements, unless otherwise noted, were taken by The City of Red Deer Planning Department in 2014 or 2015, or contributed by the community. Assistance from the community, by the Waskasoo Community Association, and their individual members are greatly appreciated and recognized.

### 1.2 How Character Statements are Applied

When an application for development permit to redevelop a lot, or a subdivision application is received, City Administration will evaluate the application based on conformity with:

- The City of Red Deer statutory plans (including but not limited to the *Municipal Development Plan, Area Structure Plans, Area Redevelopment Plan*);
- The *Land Use Bylaw*;
- Consultation with internal City departments and landowners within 100 m of the subject lot;
- The *Redevelopment Design Guidelines* planning document;
- The applicable Character Statement; and
- The contents of the Letter of Intention submitted by the Applicant with Development Permit applications for redevelopment within a Character Statement area.

Character Statements are a planning tool that will be applied in conjunction with the generally applicable *Redevelopment Design Guidelines* and The City of Red Deer's *Land Use Bylaw* to evaluate if an application maintains the character of the area. Where the regulations in the *Land Use Bylaw* or the *Redevelopment Design Guidelines* conflict with the



Character Statements, the Character Statements shall prevail. The Context and History, Common Forms and Scale of Buildings, Common Building Materials and Other Common Elements sections within each Character Statement identify various aspects that add to the distinct character and should be considered when evaluating whether a proposed development complements or maintains the character of the area.

A Letter of Intention shall be submitted by the Applicant with Development Permit applications for redevelopment within a Character Statement area addressing how the proposal is sensitive to the Immediate Street Context as identified in the relevant Character Statements.

The Character Statements may only be amended in accordance with the procedures set out in the Municipal Government Act for amendments to a Land Use Bylaw.

### 1.3 Properties Designated Historical Preservation or Historical Significance

Applications for properties that are identified in the City of Red Deer's LUB as HP (Historical Preservation) or HS (Historical Significance) are to be reviewed applying the *Standards and Guidelines for the Conservation of Historic Places in Canada* as well as *Alberta's Creating a Future for Alberta's Historic Places*. The Federal and Provincial requirements take precedence over The City of Red Deer's requirements.

### 1.4 Interpretation

Wording contained in the following Character Statements are intentional and contain "shall", "should" and "may" statements. Character Statements that contain "shall" are those which must be followed. "Should" statements mean compliance is required but the Development Authority has some discretion based on the circumstances of the specific case. "May" statements indicate that the Development Authority determines the level of compliance that is required. Terms identified by capitalized first letter are found in the Definitions section of this document.

Tree Preservation is important to the Community consequently the following Waskasoo Area Redevelopment Identity Policy 2 – Maintain Tree Cover applies to all Character Areas.

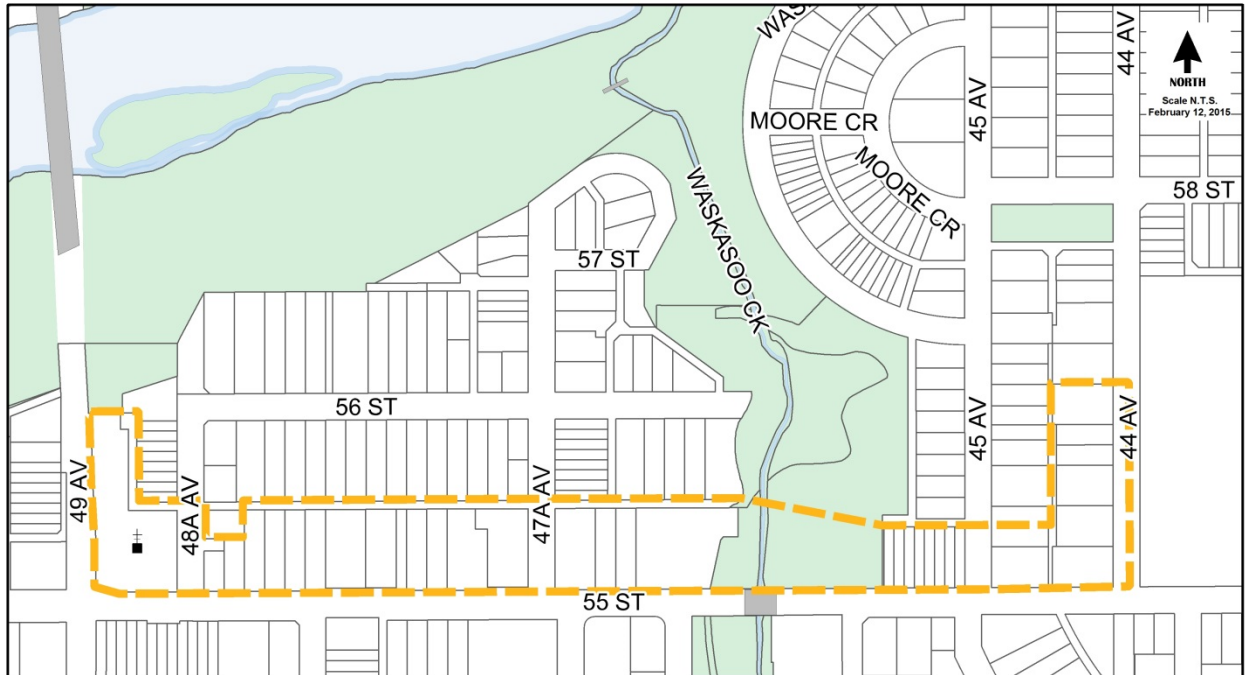
The Development Authority may require a Tree Preservation Plan as part of a Development Permit Application. If required, a Tree Preservation Plan must contain details about the existing landscaping on the lot(s), including the approximate diameter of trees (measured at breast height (ie) 1.3 metres above ground) and a written statement by a qualified professional on the health of the tree(s) proposed to be removed, retained or relocated shall accompany the Tree Preservation Plan.





## 2. 55th Street Character Statement

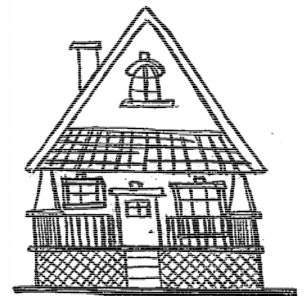
### 2.1 Character Statement Area Map



### WASKASOO PLAN AREA 55 STREET CHARACTER AREA

### 2.2 Context and History

The 55<sup>th</sup> Street area is predominantly comprised of walk-up style apartment Buildings, with the exception of the ten (10) existing single detached dwellings on the eastern limits of the Character Area, a commercial site at the corner of 45<sup>th</sup> Avenue and 55<sup>th</sup> Street, and the Sacred Heart Catholic Church at the corner of 49<sup>th</sup> Avenue and 55<sup>th</sup> Street. As 55<sup>th</sup> Street became more of a major thoroughfare the single detached dwellings were, for the most part, replaced with walk-up style apartment Buildings.



Single Family  
Dwelling



Walk-up Style Apartment

Apartment Building on 55<sup>th</sup> St.

The single detached dwellings were the first style of residence built in the Character Area, and were built between 1928 and 1956. The original Sacred Heart Catholic Church was constructed in 1925. It was replaced with the existing larger church Building in 1959. The multiple family apartment Buildings that replaced the original single detached dwellings were built between 1963 and 1979.

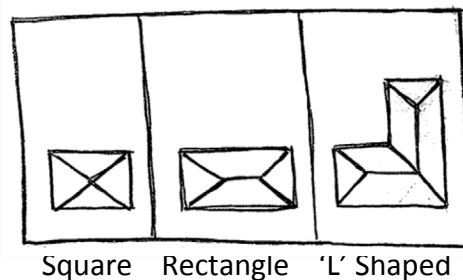
### 2.3 Common Forms and Scale of Buildings

- Apartment Buildings ranging from 2 to 3 storeys that are raised a half-storey to allow light into the basement units.
- Apartment Buildings generally have vehicular access and gravel parking areas located at the rear with a generous, landscaped Front yard.
- The single detached dwellings are all 1 or 1½ storeys with very simple traditional square, rectangular, or 'L' shaped Building footprints with minimal decorative details.
- The Sacred Heart Catholic Church is a unique, purpose-built Building with large gravel parking area to the north of the Building and fully exposed to 49 Avenue



### 2.4 Common Building Materials

- Brick
- Wood
- Stucco
- Metal
- Vinyl siding/cladding



Apartment Buildings along 44<sup>th</sup> Avenue



Apartment Building on 55<sup>th</sup> Street

### 2.5 Other Common Elements

- Apartment Buildings with projecting balconies, flat roofs, and prominent front entries

Apartment Building with balconies, flat roof,  
and prominent front entry

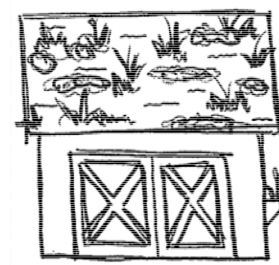
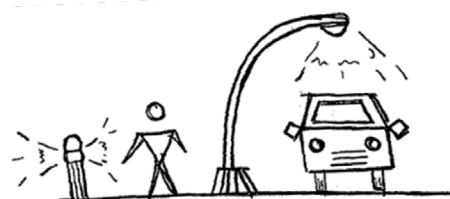
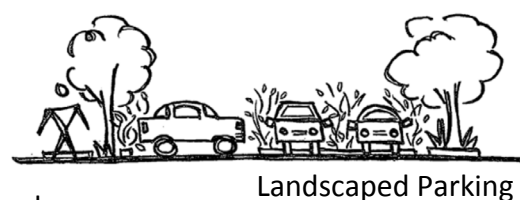
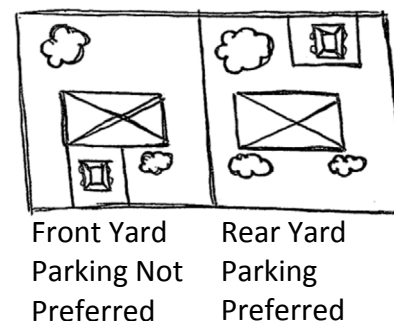
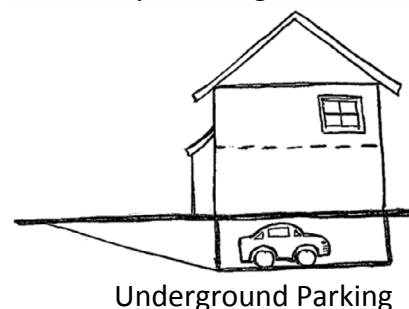
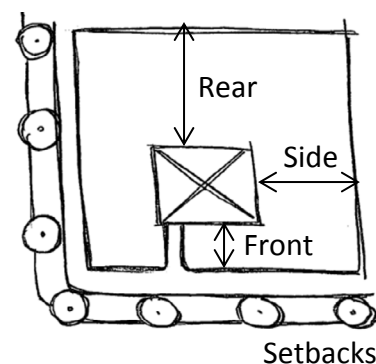




- Mature trees and Landscaping, some trees are identified in the *Land Use Bylaw* as having Historical Significance (HS).

## 2.6 Recommended Design Elements

1. Front, side, and Rear Yard Setbacks around Buildings shall be maintained to preserve existing mature Landscaping, to allow successive trees to mature or be planted, and to maintain privacy and seclusion. Every effort should be made by property owners to save existing mature trees.
2. Existing specimen conifer and deciduous trees shall be identified on a site plan/tree preservation plan and protected during site construction activities and after by ensuring Buildings, services or Hard Surface areas are not sited too close.
3. New trees planted should be of a species, preferably native, that is currently found in the 55<sup>th</sup> Street Character Area and tolerant of the streetscape conditions.
4. New multiple family Buildings shall locate parking underground or on Hard Surface parking areas at the rear or side of the Building. Parking areas located in the Front yard shall not be permitted. Parking areas shall be landscaped in accordance with the Landscaping requirements of the *Land Use Bylaw*, shall have direct pedestrian connectivity to the Building and public street, and shall be designed to accommodate the needs of our climate by using such design elements as terracing, canopies or Cantilevers at Building entrances to provide weather protection, and the use of pedestrian and vehicular Scale lighting as appropriate to enhance safety and security.
5. The development and redevelopment of multi-family buildings shall be upgraded in terms of design quality, materials and construction quality as well as Landscaping as deemed appropriate to the highly visible location and proximity to downtown.
6. Multiple family Buildings shall have private, useable balconies that are incorporated into the building design.
7. The use of flat roofs as functional Green Roofs is encouraged.





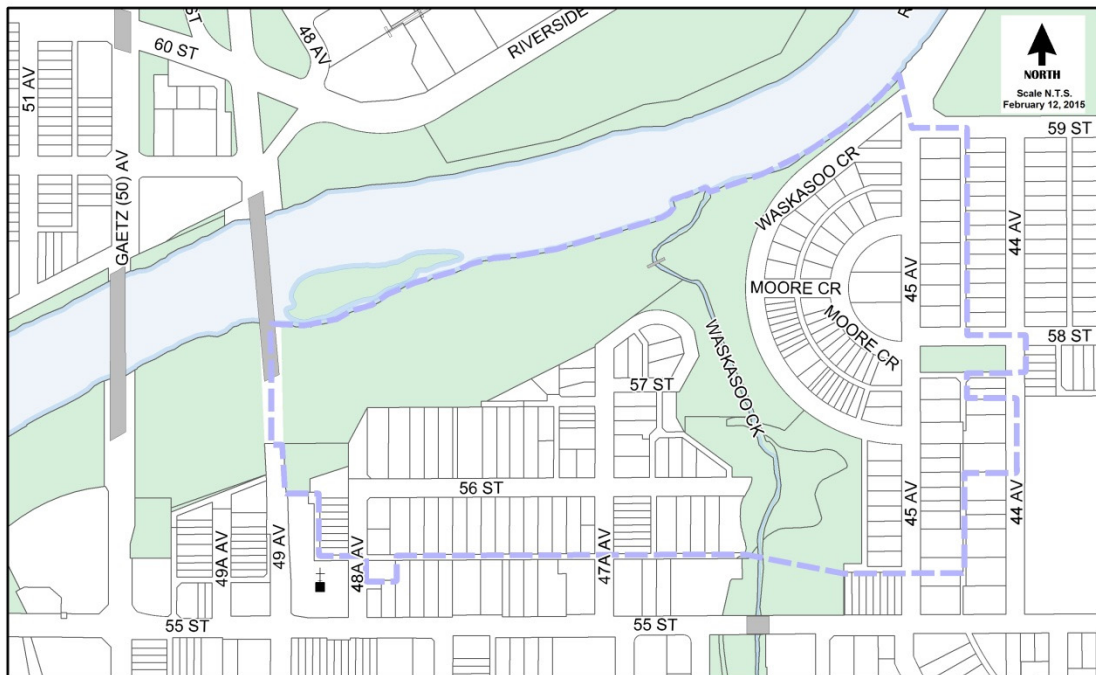
Sacred Heart Church 5508 – 48A Avenue



Apartment Buildings along 55<sup>th</sup> Street

### 3. Waskasoo Historic Core Character Statement

#### 3.1 Character Statement Area Map



#### WASKASOO PLAN AREA HISTORIC CORE CHARACTER AREA

#### 3.2 Context and History

The Waskasoo historic core includes two separate historic areas bisected by Waskasoo Creek that have many common elements. This Character Area contains a number of historic residences and numerous dwellings constructed in the decade after WW II. The area is significant for its association with the theme of early residential development in Red Deer. Several of the homes were built prior to the economic crash of 1913 as part of the early residential development that occurred in the first decade

of the twentieth century. This Character Area includes a significant number of The City of Red Deer's listed heritage properties.

The Waskasoo neighbourhood is associated with two important Urban Planning movements; the Garden City and City Beautiful. The City Beautiful movement emphasized grandeur, order, symmetry, and harmony in the built environment believing that these qualities would consequently be inspired in the residents. The Garden City movement emphasized the creation/maintenance of parks, green spaces, spacious lawns and gardens. Both sides of the creek exhibit characteristics of both movements. Both movements worked together and focused on different aspects. City Beautiful is a beautification and functional architectural design based movement and Garden City was a city and subdivision urban planning movement. Moore Crescent and Waskasoo Crescent were laid out along Waskasoo Creek and the Red Deer River following these principles thus lending the now century old area a unique charm and park-like quality.



November 1948 - Aerial Photo of the Waskasoo Neighbourhood (Red Deer and District Archives; P210)

East of Waskasoo Creek, the historic homes were built between 1905 and 1923, shortly after William Addison Moore subdivided the land by the river into suburban lots. William Moore was one of Red Deer's founding fathers; he was the Manager of the Western Telephone Company and Western General Electric, and original owner of the historic Moore Residence located along 45<sup>th</sup> Avenue. Many of the dwellings within this area were built between 1900 and 1912 and began the establishment of the aesthetics of the Waskasoo neighborhood. These Buildings include 2 ½ storey Edwardian style dwellings such as the Moore, Galbraith, Simpson and the Weddell Residences along with 1 ½ storey Craftsman style bungalows such as the Sharman and the Russell Residences.



2 ½ Storey Edwardian Style

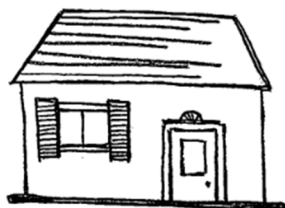


West of Waskasoo Creek the central focus surrounds "Son-in-law Row" (56<sup>th</sup> Street) which is a picturesque, residential street near the downtown and a local landmark in the former subdivision known as River Park. This name, "Son-in-law Row", refers to the fact that some of the dwellings located in this area were originally constructed for the daughters and sons of the early founding father of Red Deer, Rev. Leonard Gaetz. This area also reflects the philosophies of the Garden City and City Beautiful movements, although less rigidly and obviously as Moore and Waskasoo Crescents. The historic dwellings were built between 1903 and the 1930's. There is an additional grouping of post war homes from the 1940's and 1950's and some more modern dwellings as well.

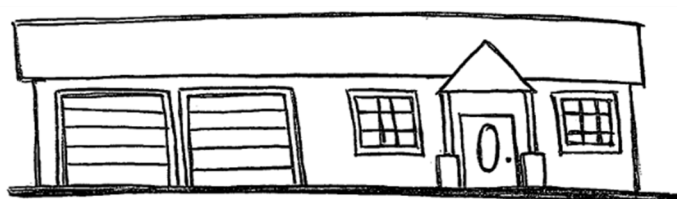


1 ½ Storey Craftsman Style

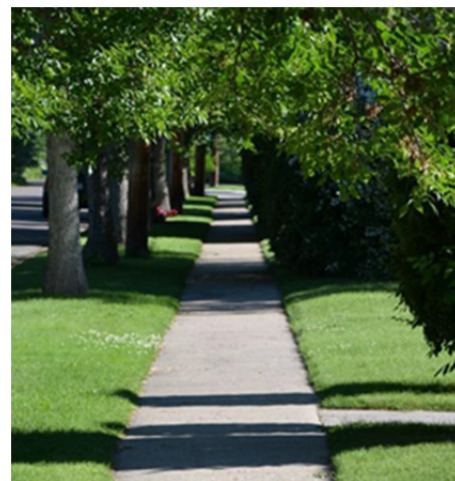
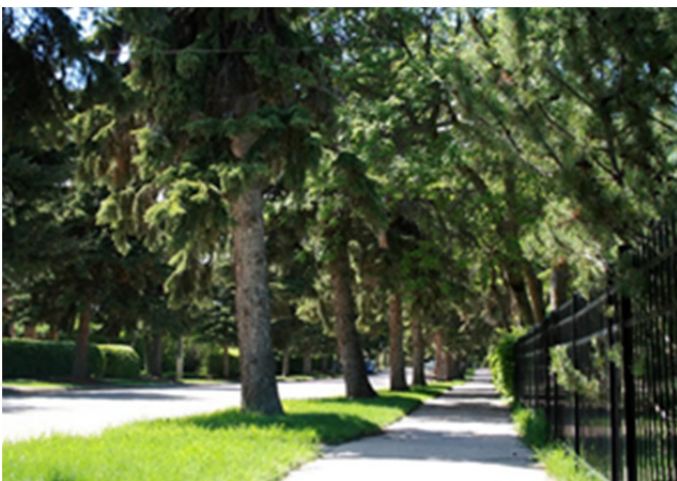
These historic dwellings are joined by numerous 1 storey and 1 ½ storey dwellings built from approximately 1946 to 1955. These dwellings reflect post-war/oil-boom residential development in The City of Red Deer when many small homes were built on lots that had remained empty since the 1913 economic crash. The majority are in the Minimal Traditional and Ranch architectural styles.



Minimal Traditional Style



Ranch Style



Separated sidewalks with tree lined streets

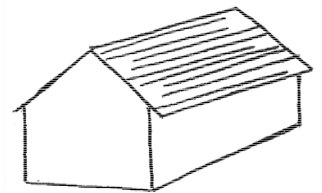
### 3.3 Common Forms and Scale of Buildings

- Pre and post-war single detached dwellings ranging in size from small 1 storey dwellings to large 2 ½ storey dwellings influenced by Edwardian, Queen Anne, Foursquare, Arts and Crafts, Prairie and Craftsman architectural styles. Refer to the definitions section for additional information related to these architectural styles.
- 1 and 1 ½ storey post-war dwellings built in the 1940's and 1950's, in the the Minimal Traditional and Ranch architectural styles.
- Gable and Hip Roofs, often with Dormer windows, creating living space within the roof and

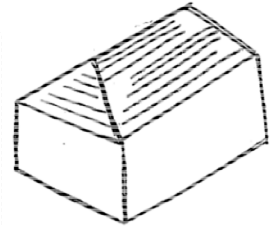


some type of porch entry feature with a Prominent Entry are common. The use of cornices, Dentils and decorative shingle cladding in the Gable ends is a common feature as is a symmetrically designed front façade with a prominent main entrance.

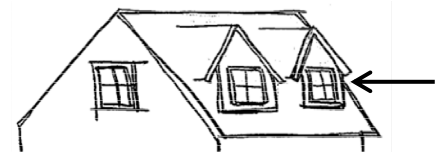
- Detailing from other architectural styles, such as Gothic or Tudor, often Scaled down elements.
- Consistent relationship between sidewalk location, finished floor elevations, Building Front Yard Setbacks, street tree locations, and road widths.
- Mature trees within the boulevard area.
- Larger lots with generous Front and side Yard Setbacks that are well treed and landscaped adding to the aesthetic appeal of the streetscape. On 56<sup>th</sup> Street, known as “Son-in-Law” Row, some homes have large Front Yard Setbacks.
- Scale is related to architectural style and should be reflected in the building design. For instance, 1 to 1 ½ storey dwellings have a Minimal Traditional or Ranch architectural style, and have a smaller square footage than what became common after WW II.



Gable Roof



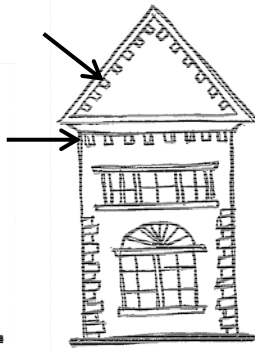
Hip Roof



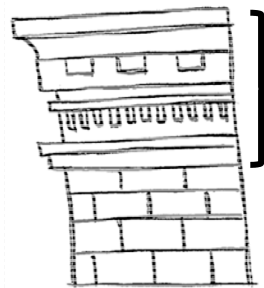
Dormer Window



Prominent Entry



Dentils



Cornice



Decorative Shingle Cladding



F.W. Galbraith Residence (HS 21)



Simpson Residence (HS 56)

### 3.4 Common Building Materials

- Wood cladding (wood shingle cladding, clapboard siding) or wood-replica siding
- Brick or stucco; Stone, river rock, sandstone
- Asphalt shingles or cedar shakes
- Stone, sandstone, cement, cement block or brick foundations



Detached Garage

### 3.5 Other Common Elements

- Mature tree lined streets with separated sidewalks
- Large well landscaped, maintained yards complete with mature vegetation
- Rear gravel lanes for vehicular access with a detached garage - Only lots with no rear lane have front driveways, garages and/or parking pads
- Very walkable streets. The streets and trails becoming informal meeting places



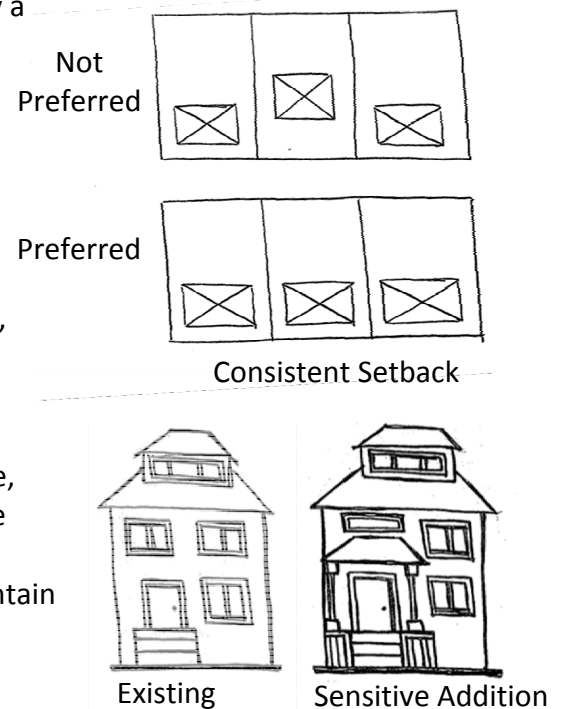
J. Weddell Residence (HS 30)



Bill Lodewyk Residence

### 3.6 Recommended Design Elements

1. A Tree Preservation Site Plan shall be required to accompany a development permit application in this Character Area which shall identify by location, type and size, all existing trees, natural and manmade features, Boundary hedges and landscaped boulevards. The Plan shall identify what is to be removed/relocated/preserved on site as well as any proposed tree replacements required as a result of tree removal.
2. Lots shall be compatible with and similar to the width, depth, and area of properties existing within the Immediate Street Context as the proposed redevelopment.
3. Dwellings shall be sited on the lot to be compatible with the existing pattern of dwelling placement, in terms of front, side, Flankage, and Rear Yard Setbacks prevalent in the Immediate Street Context.
4. Slight variance to Front Yard Setback may be allowed to maintain existing natural features/ trees and to better align with the Immediate Street Context.
5. Sensitive additions proposed to the front façade should be supported when the Front Yard Setback, Building design, siting and materials utilized are compatible with the Immediate Street Context. Each proposal would be assessed individually and would look at the proposed location in relation to the existing Building footprint, average of Setbacks in the Immediate Street Context and impacts to existing mature vegetation.
6. Exterior Building Materials and colours should be reflective of, similar to and compatible with





those present within the Immediate Street Context. Distinct accent colours are encouraged.



Reflecting Common Building Materials and Colors

7. Dwellings shall have a prominent primary entrance on the main frontage and generally be reflective of Edwardian, Queen Anne, Foursquare, Arts and Crafts, Prairie, Craftsman, Minimal Traditional and/or Ranch architectural styles.
8. Front Attached Garage shall only be accepted where there is no rear lane access. Where front Attached Garages are allowed, the dominance of the garage shall be reduced by having the façade of the garage flush with the front façade of the dwelling or recessed a minimum of 1.5 m behind the front façade of the dwelling. No front street access driveways, front street access parking pads, or front street access Detached Garages shall be permitted where there is vehicular access available from a rear lane or side street unless currently existing.
9. Upper storey living spaces, wholly or partially, should be incorporated within the roof structure for increased floor area. Dormer/end gable windows are encouraged to provide adequate light.
10. The height and total floor area of all accessory Buildings shall not exceed the footprint area or height of the principal Building. Accessory uses shall be subordinate in size and use to the principal Building.



Dominant Garage



Non Dominant Garage



End Gable Window

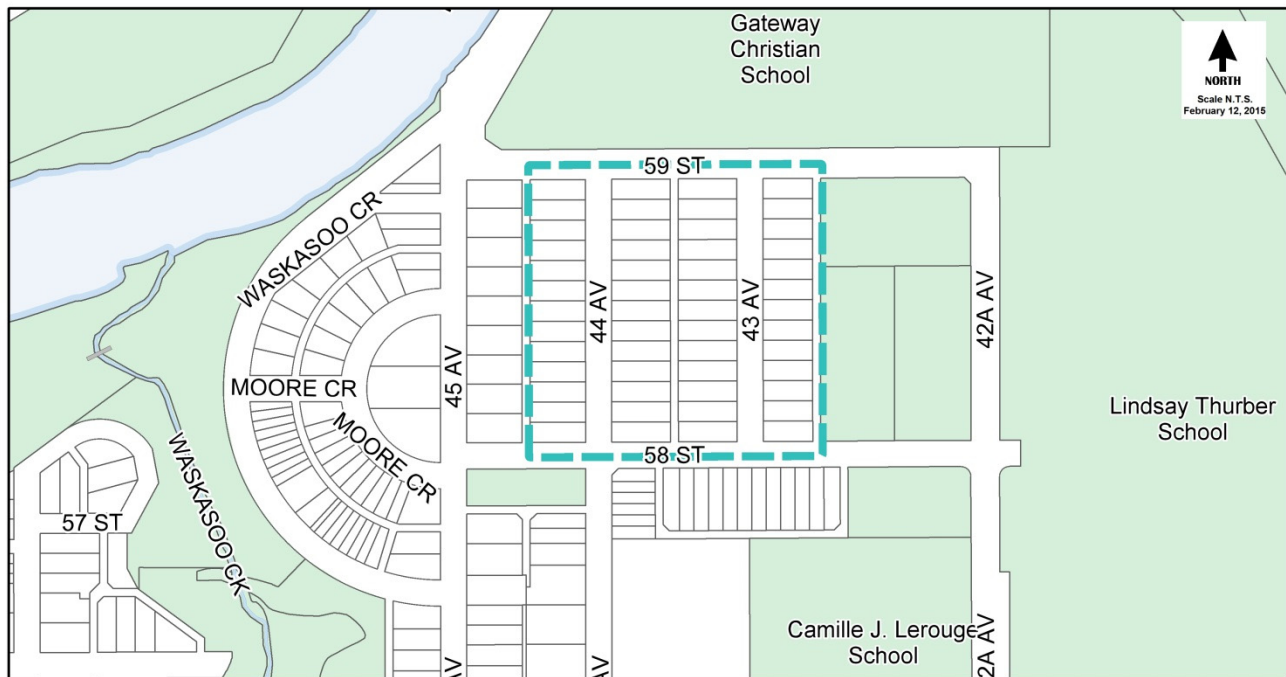


Julian Sharman Residence



## 4. Waskasoo A-20 Camp Character Statement

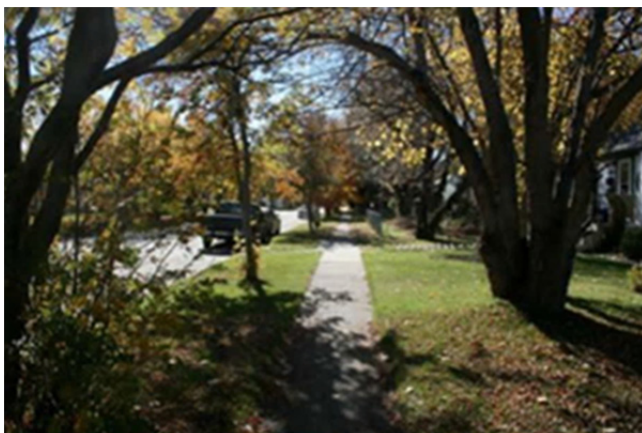
### 4.1 Character Statement Area Map



### WASKASOO PLAN AREA A-20 CAMP CHARACTER AREA

### 4.2 Context and History

After WWII, the majority of the Department of Defence's land from the A-20 Army Camp was divided up for development. The City of Red Deer was experiencing a huge population boom and housing was needed for returning Veterans. The Federal Government began the pragmatic construction of Veteran Land Act (VLA) homes in 1945, lining these streets with modest dwellings. These dwellings remind us of the sacrifices made by the veterans of WWII and walking these streets gives the impression that creative expression, connection, nature, and community, seems to be valued over square footage.

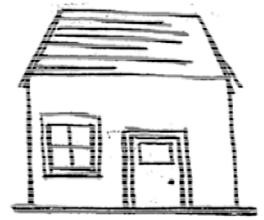


Separated sidewalks with tree lined streets

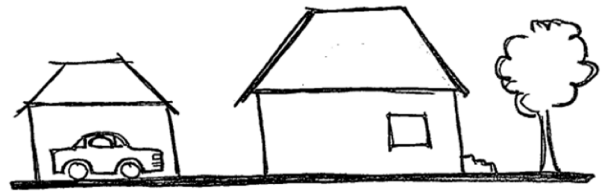


### 4.3 Common Forms and Scale of Buildings

- 1 or 1 ½ storey dwellings with flat, single dimension facades, and a central Prominent Entry.
- Buildings designed for efficiency, utilizing standard lengths of joists, and framing membranes.
- 1 ½ storey dwellings have simple steep pitched roofs, often with no overhang.
- The overall shape is very square or rectangular and compact, with few ornamental features.
- Large side yards, consistent Front Yard Setbacks ranging from 6 m to 8 m, and deep Rear Yards ranging from 38 m to 45.5 m. Lot widths are consistently between 15.5 m and 16 m.
- No vehicular access from the street. Detached garages are accessed from the rear lane, are out of sight, and don't affect the character when viewed from the street.
- Additions are common in the rear but there are many smaller side yard additions, and some have added Dormer windows.
- Most redevelopment has been built upon the existing dwelling or foundation, but each builder has come up with a style that compliments the area in its own way.
- Size of original homes was either 57 m<sup>2</sup> or 68 m<sup>2</sup> but additions and renovations have allowed up to approximately 130 m<sup>2</sup>.
- Only replacement and renovated dwellings exceed 1 ½ storeys in height.
- Some dwellings have Cantilevered projections, Dormers and porch features.



Flat Single  
Dimension Facade



Detached Garage



Typical unmodified dwelling



Typical dwelling form with modified porch, Dormer and side/rear addition.

### 4.4 Common Building Materials

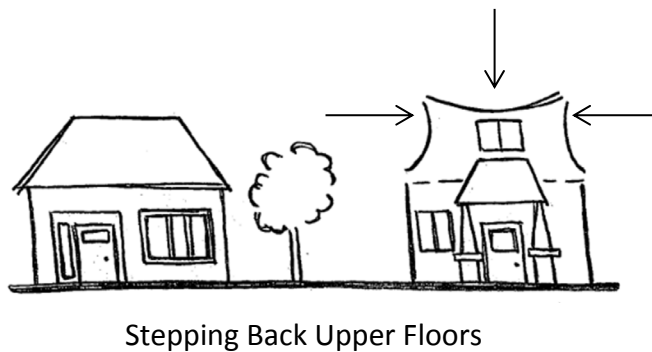
- Wood
- Stucco
- Horizontal or vertical vinyl siding
- Concrete or stone faced foundation
- Brick detailing

## 4.5 Other Common Elements

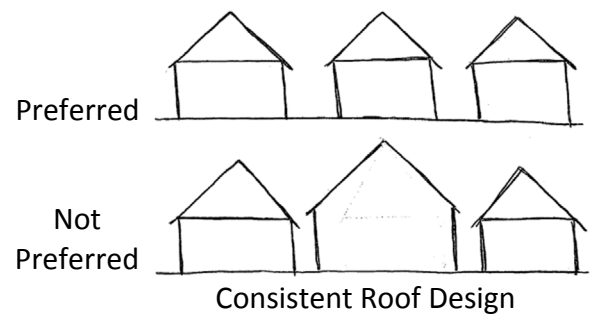
- Well connected sidewalks and pathways with streets laid out in a grid pattern
- Mature tree lined streets with separated sidewalks

## 4.6 Recommended Design Elements

1. The simple, rectangular form and proportions of the original Post-War houses should form the basis for design inspiration as opposed to replication. A design showing efficiency in the use of materials, systems and technologies as well as reflecting some of the architectural pattern language of the Immediate Street Context is desirable.
2. Roof ridge and eave height as well as roof style, typically pyramid or peaked, should align with the Immediate Street Context. If there is inconsistency resulting from height differences, the proposed Building elevations should include architectural detailing, Building articulation and stepping back of the upper floor(s) to break up the larger Building form and reduce the impact to adjacent properties.



Pyramid Roof



3. Dwellings should be 1 to 2 storeys in height. Dormers or similar design elements should be encouraged to provide some additional accommodation in the roof.
4. Building additions, greater than 30% of the floor area of the existing Building, shall be located in the rear and only additions 30% or less of the floor area of the existing Building, shall be located to the side.
5. The average of the adjacent Front Yard Setbacks, commonly deep Rear Yards and the typical appearance of large side yards when viewed from the street shall be required unless there are obvious anomalies that must be considered.
6. No front street access driveways, front street access parking pads or front street access garages where there is vehicular access available from a rear lane or side street shall be permitted.
7. Sensitive additions proposed to the front façade should be supported when the Front Yard Setback, Building design, siting and materials utilized are compatible with the Immediate Street Context. Each proposal will be assessed individually and will look at the proposed location in relation to the existing Building footprint, the immediately abutting existing Buildings foot prints, average of Setbacks in the Immediate Street Context, and impacts to existing features.
8. The height and total floor area of all accessory Buildings shall not exceed the footprint area or height of the principal Building. Accessory uses shall be subordinate in size and use to the principal Building.

## 5. Waskasoo Environmental Character Statement

### 5.1 Character Statement Area Map



### WASKASOO PLAN AREA ENVIRONMENTAL CHARACTER AREA

### 5.2 Context and History

The Environmental Character Area is made up of the Kerry Wood Nature Centre, Gaetz Lakes Sanctuary, and an undeveloped lot located at 4240 – 59<sup>th</sup> Street directly east of the Gateway Christian School. These lands were originally part of Glenmere Farms and then a portion of these lands became the A-20 Army Camp during WWII.

The area north of 59<sup>th</sup> Street and east of 42A Avenue has a greater need for environmental protection and sensitive development due to a shared drainage catchment area uninterrupted by much infrastructure with the Gaetz Lakes Sanctuary, the Kerry Wood Nature Centre, and proximity to McKenzie Trails Recreation Area and the Red Deer River. The Gaetz Lakes Sanctuary is a Provincially regulated Bird Sanctuary, consequently, development within the Sanctuary is not anticipated.

The McKenzie Trails Recreation Area and the Future Urban Development Lots have a number of constraints associated with them including being in the flood plain, flood fringe, an escarpment area and a land fill setback area. As a result no further intensification through an increase in the number of dwelling units shall be permitted; these areas are not included in the Environmental Character Area.

### 5.3 Common Forms and Scale of Buildings

- Natural features including native vegetation, mature trees, and a minimal Building coverage.

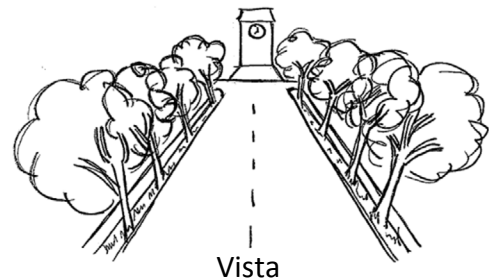
- Buildings are typically 1 storey with flat roof construction.
- Gravel or asphalt parking areas with native naturalized Landscaping.
- Two Heritage properties are located within this area; the Wishart Cabin Site within Gaetz Lakes Sanctuary, and the Allen Bungalow at Kerry Wood Nature Centre.
- The natural and recreational areas tend to have few, smaller structures and park furnishings.

#### 5.4 Common Building Materials

- Wood and Stone

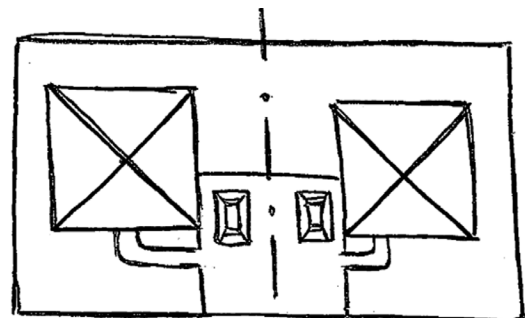
#### 5.5 Other Common Elements

- Rural character with native, naturalized landscapes, rural road cross sections, a lack of fencing
- A wide open sense of space that is not common in other areas of the City



#### 5.6 Recommended Design Elements

1. A conservation development pattern which clusters a development's built form together into a portion of the overall area allowing the open space of the development to contribute to the existing adjacent open space and be an amenity to the site users including wildlife. For Public Service uses with a residential component like Assisted Living, concepts such as Pocket Neighbourhoods may be considered.
2. Mature street character, scenic Vistas viewable from the road, and existing natural features of the area shall be maintained.
3. Buildings should be designed to include environmentally sustainable design features by incorporating the use of green technologies, Ecological Design, water conservation measures.
4. Low maintenance Landscaping with native non-invasive plant material shall be required and the incorporation of both Xeriscaping and Naturescaping is encouraged. The use of herbicides and pesticides is strongly discouraged.
5. Landscaped areas and islands throughout parking and storage areas shall be provided to intercept precipitation, reduce surface heating, provide canopy shading, and enhance the appearance.
6. Permeable and semi-permeable paving surfaces should be provided to improve ground water recharge and reduce storm water runoff.
7. A system to capture and recycle roof runoff and rainwater should be provided for landscape watering. If this system is proposed, the use of roofing materials that do not yield contaminants is recommended.
8. Adaptive reuse of existing Buildings and structures is encouraged.
9. All roads north of 59<sup>th</sup> Street within the character area should maintain their natural boundaries and native vegetation to preserve and enhance the wildlife corridor through this critical area adjacent to the Red Deer River.
10. Shared driveways are encouraged. Other reductions in impervious surfaces may be achieved through the elimination of curbing and the use of decorative pervious surfaces for sidewalks, driveways, and trails.





11. Disruption of any open space proposed to be disturbed during construction or otherwise not preserved in its natural state shall be shown on development plans and shall be restored with vegetation that is compatible with the natural characteristics of the site.
12. Excavated material may be used for the creation of berms or to provide a low fertility soil for the creation of wild flower meadows or similar semi-natural habitats to blend with the more naturalized character of the area.
13. Existing specimen conifer and deciduous trees shall be identified on a site plan and protected during site construction activities and after by ensuring Buildings, services or Hard Surface areas are not sited too close.
14. New trees planted should be of a similar species than what is currently found in the Waskasoo Environmental Character Area. Edible vegetation such as fruit trees and berry bushes should be included in Landscaping.
15. New development should not adversely affect the character of the streetscape, as a result of being sited too close to the road, of inappropriate or excessive Massing, form or height having a negative impact on abutting properties in terms of shadows and privacy/over look, or causing the loss of landscape features or other factors which may have a negative effect on the streetscape or abutting properties.
16. Location, style, and amount of fencing proposed around and/or adjacent to open space areas shall have consideration for the movement of wildlife and the prevention of opportunities for wildlife entrapment.
17. In order to reduce ambient light levels which will reduce the impact of light on nocturnal environments, exterior lighting on Buildings or within yards should be pointed down particularly near the Sanctuary.



Existing road cross section on 45<sup>th</sup> Avenue north of 59<sup>th</sup> Street

## 6. Definitions

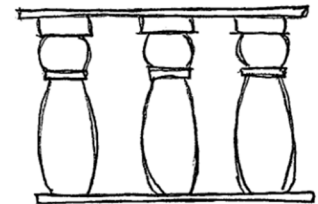
**Arts and Crafts Style** developed in the 1860s as a reaction against the growing industrialization of Victorian Britain. Those involved believed in the equality of all the arts and the importance and pleasure of work. The appearance of the style resulted from the principals involved in the making of the objects. By the end of the century such ideals had affected the design and manufacture of all the decorative arts in Britain. The principle characteristics are:

- Truth to materials; meaning preserving and emphasizing the natural qualities of the materials used to make objects was one of the most important principles of Arts and Crafts style
- Simple forms; where there was no extravagant or superfluous decoration and the actual construction of the object was often exposed
- Natural motifs as Nature was an important source of Arts and Crafts motifs as the patterns used were inspired by the flora and fauna of the countryside
- The vernacular - The vernacular, or domestic, traditions of the British countryside provided the main inspiration for the Arts and Crafts Movement.

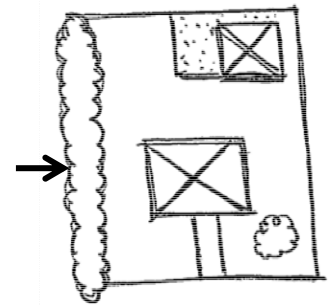
**Attached Garages** are enclosed parking areas which are integrated into the main dwelling structure and are typically accessed from a driveway connecting to a municipal street or rear lane.



Attached Garage



Balustrade



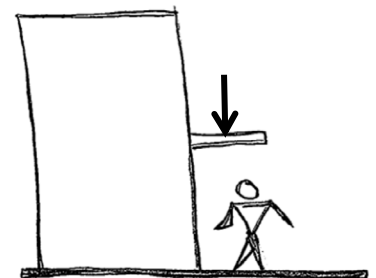
Boundary Hedge

**Balustrade**, also called spindle or stair stick, is a molded shaft, square or lathe-turned form, a form cut from a rectangular or square plank, various forms, made of stone or wood and sometimes of metal, standing on a unifying footing, and supporting the coping of a parapet or the handrail of a staircase.

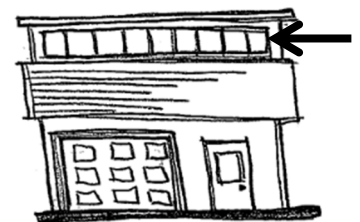
**Building** means any structure used or intended for supporting or sheltering any use or occupancy.

**Boundary Hedge** is vegetation in the form of hedges or shrubs located on or adjacent to the registered property line of a site.

**Building Materials** are materials used for construction. For the purpose of this document, building materials predominantly refer to exterior cladding materials, such as brick, stone, and wood.



Cantilever



Clerestory

**Cantilever** is a beam anchored at only one end. The beam carries the load to the support. Cantilever construction allows for overhanging structures without external bracing. This is in contrast to a simply supported beam which is supported at both ends.

**Clerestory** is a high wall with a band of narrow windows along the very top. The clerestory wall usually rises above adjoining roofs.

**Common Form** is a similarity in the shape, outline or configuration of a structure as apart from colour, materials, etc.

**Common Materials** is a similarity in the substance, or a mixture of substances that constitute a thing.

**Common Scale** is a similarity in size based on an informal system of general size categorizations useful for comparison purposes.

**Cornice** is generally any horizontal decorative molding that crowns a building or furniture element— the cornice over a door or window, for instance, or the cornice around the top edge of a pedestal or along the top of an interior wall. A simple cornice may be formed just with a crown molding. The function of the projecting cornice of a building is to throw rainwater free of the building's walls.

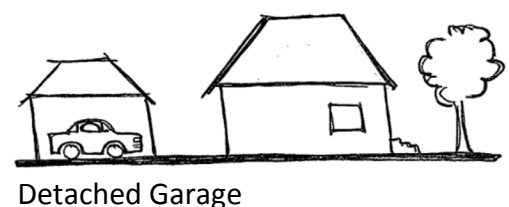
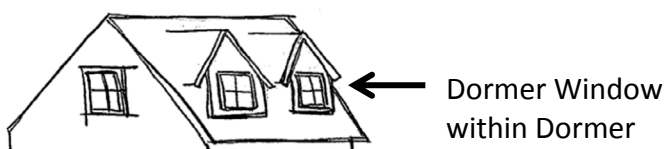
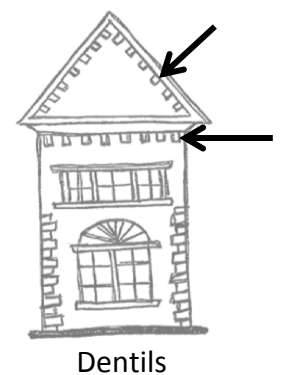
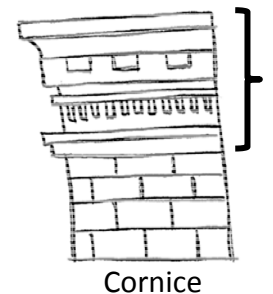
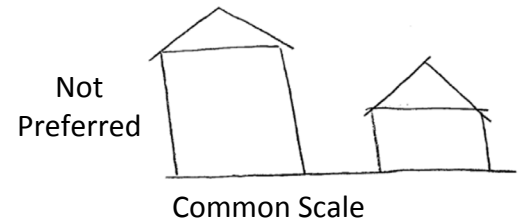
**Craftsman Style** is based on a reform philosophy, encouraging originality, simplicity of form, local natural materials, and the visibility of handcraft, but distinguished itself, particularly in the Craftsman Bungalow style, with a goal of ennobling modest homes for a rapidly expanding American middle class.

**Dentil** is a small block used as a repeating ornament under the projecting part of a cornice. As a general rule the projection of the dentil is equal to its width, and the intervals between to half the width.

**Detached Garages** and **Accessory Structures** are free-standing buildings that are not connected to the main dwelling, and are typically accessed from a driveway connecting to a municipal street or rear lane, but which contribute to the overall site function and layout.

**Dormer** is framing which projects from a sloping roof, providing an internal recess in the roof space.

**Dormer Window** is a window in a dormer for lighting a room adjoining a sloping roof.



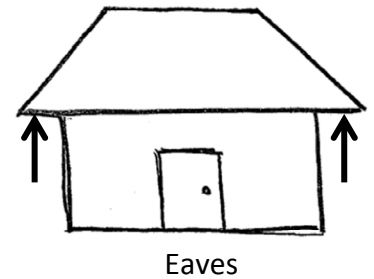


**Eaves** are defined as the edges of the roof which overhang the face of a wall and, normally, project beyond the side of a building. The eaves form an overhang to throw water clear of the walls and may be highly decorated as part of an architectural style.

**Ecological Design** is defined as any form of design that minimizes environmentally destructive impacts by integrating itself with living processes. Ecological design is an integrative ecologically responsible design discipline.

**Edwardian Style** is the style popular during King Edward VII of the United Kingdom's reign; he reigned from 1901 to 1910, but the architecture style is generally considered to be indicative of the years 1901 to 1914. Edwardian architecture is:

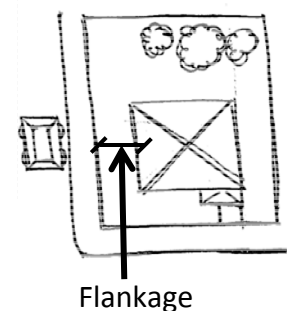
- generally less ornate than high or late Victorian architecture
- Lighter colours were used;
- the use of gas and later electric lights caused designers to be less concerned about the need to disguise soot buildup on walls compared to Victorian era architecture.
- Decorative patterns were less complex and there was less clutter than in the Victorian era.
- Ornaments were perhaps grouped rather than everywhere.
- false front facades and carefully crafted columns and cornices.



**Flankage** is the side yard abutting a street on a corner lot.

**Foursquare Style** is an American house style popular from the mid-1890s to the late 1930s. This style incorporates elements of the Prairie School and the Craftsman styles. It is also sometimes called Transitional Period. It was a reaction to the ornate and mass-produced elements of the Victorian and other Revival styles popular throughout the last half of the 19th century. Foursquare style usually has these features:

- plain, often incorporating handcrafted "honest" woodwork (unless purchased from a mail-order catalog)
- Simple box shape
- Two-and-a-half stories high
- Four-room floor plan
- Low-hipped roof with deep overhang
- Large central dormer
- Full-width porch with wide stairs
- Brick, stone, stucco, concrete block, or wood siding



**Front Façade** refers to the front elevation of the dwelling which faces the street and contains the main entrance.

**Front Yard** means that part of a site which extends across the full width of a site between the front boundary and the nearest wall or supporting member of a building.

**Gable** is the upper triangular-shaped portion of the end wall of a building.

**Green Building** (also known as **green construction** or **sustainable building**) refers to a structure and using process that is environmentally responsible and resource-efficient throughout a building's life-cycle: from siting to design, construction, operation, maintenance, renovation, and demolition. In other words, green building design involves finding the balance between homebuilding and the sustainable environment. This requires close cooperation of the design team, the architects, the engineers, and the client at all project stages. The Green Building practice expands and complements the classical building design concerns of economy, utility, durability, and comfort.

**Green Roof** means a building's roof which allows vegetation to grow in a growing medium. The green roof may be partially or completely covered in plants.

**Hard Surface** is an area which is paved or covered with a permanent, durable material to make a suitable surface for vehicular and pedestrian activities. In the context of this guideline, hard surface refers to driveway and walkway surface treatments, predominantly within the front yard of the property.

**Hip roof** or **hipped roof** is a type of roof where all sides slope downwards to the walls, usually with a fairly gentle slope. Thus it is a house with no gables or other vertical sides to the roof. A square hip roof is shaped like a pyramid. Hip roofs on houses could have two triangular sides and two trapezoidal ones. A hip roof on a rectangular plan has four faces. They are almost always at the same pitch or slope, which makes them symmetrical about the centerlines. Hip roofs have a consistent level fascia, meaning that a gutter can be fitted all around. Hip roofs often have dormer slanted sides.

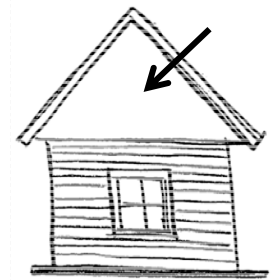
**Immediate Street Context** refers to existing buildings along the same street frontage (both sides of the streets) as the proposed redevelopment and within the same block.

**Landscaping** refers to any activity that modifies the visible features of an area of land, including simple to complex arrangements of living elements (flora), natural elements (landforms), and human elements (structures).

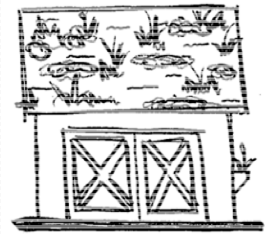
**Massing** is defined as the three dimensional form of a building.

**Minimal Traditional Style** is housing of simple design appropriate for a country recovering from a Great Depression and anticipating World War II. Minimal Traditional houses may have these features:

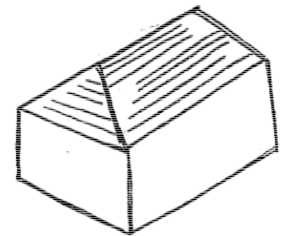
- small with minimal decorations
- low or moderately pitched roof
- minimal eaves and roof overhang



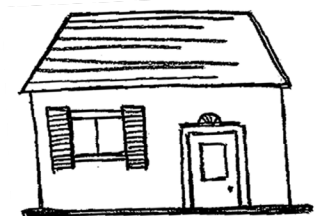
Gable



Green Roof



Hip Roof

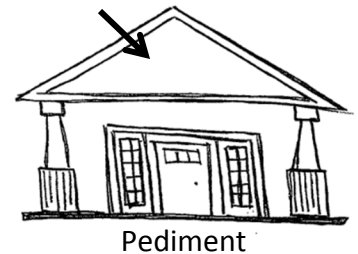


Minimal Traditional Style

- side gable, often with one front-facing cross gable
- front door entrance under the front cross gable
- one story, with an attic story
- shutters are common
- exterior siding of wood, brick, or a mix of sidings
- small fireplace and chimney

**Naturescaping** means the modification and enhancement of a lot or development to promote water efficiency and reduce the dependence on fertilizers and pesticides. The use of native central Alberta non-invasive vegetation is preferred.

**Pediment** is an element in classical, neoclassical and baroque architecture, and consists of a gable, originally of a triangular shape, placed above the horizontal structure of the entablature, typically supported by columns. The triangular area within the pediment was often decorated with relief sculpture depicting scenes from Greek and Roman mythology or allegorical figures.



**Prairie Style** is a late 19th- and early 20th-century architectural style. The style is usually marked by horizontal lines, flat or hipped roofs with broad overhanging eaves, windows grouped in horizontal bands, integration with the landscape, solid construction, craftsmanship, and discipline in the use of ornament. Horizontal lines were thought to evoke and relate to the native prairie landscape. The designation Prairie is due to the dominant horizontality of the majority of Prairie style buildings which echo the wide, flat, treeless expanses of the mid-West. The most famous proponent of the style, Frank Lloyd Wright, promoted an idea of "organic architecture", the primary tenet of which was that a structure should look as if it naturally grew from the site. Prairie style houses may have these features:

- Low-pitched or flat roof
- Overhanging eaves
- Horizontal lines
- Central chimney
- Open floor plan
- Clerestory windows

**Prominent Entry** is a building entrance that is conspicuous in its position or importance and is supported by architectural detailing, a walkway to the street and appropriate landscape treatment.



**Queen Anne Style** is a style that came into vogue in the 1880's and was used until the 1920's. Distinctive features of the American Queen Anne style (rooted in the English style) may include:

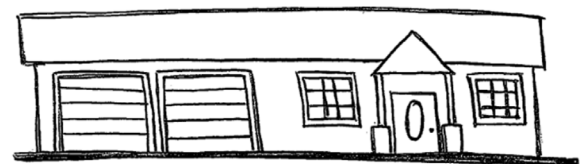
- an asymmetrical facade;
- dominant front-facing gable, often cantilevered out beyond the plane of the wall below;
- overhanging eaves; shaped gables;
- round, square, or polygonal tower(s);
- a porch covering part or all of the front facade, including the primary entrance area;
- a second-story porch or balconies;
- pedimented porches;



- differing wall textures, such as patterned wood shingles shaped into varying designs, including resembling fish scales, terra cotta tiles, relief panels, or wooden shingles over brickwork, etc.;
- dentils; Spindle work;
- classical columns;
- oriel and bay windows;
- horizontal bands of leaded windows;
- monumental chimneys;
- painted balustrades;
- wooden or slate steep roofs
- Front gardens often had wooden fences

**Ranch Style** is a domestic architectural style originating in the United States. The ranch house is noted for its long, close-to-the-ground profile, and minimal use of exterior and interior decoration. The houses fuse modernist ideas and styles with notions of the American Western period working ranches to create a very informal and casual living style. Ranch Style houses have many of these features:

- Single story, rectangular, L-shaped, or U-shaped design
- Low pitched gable roof, deep-set eaves
- Horizontal, rambling layout: Long, narrow, and low to the ground
- Large windows: double-hung, sliding, and picture
- Sliding glass doors leading out to patio
- Attached garage
- Simple floor plans with an emphasis on openness (few interior walls) and efficient use of space
- Built from natural materials: Oak floors, wood or brick exterior
- Lack decorative detailing, aside from decorative shutters



Ranch Style

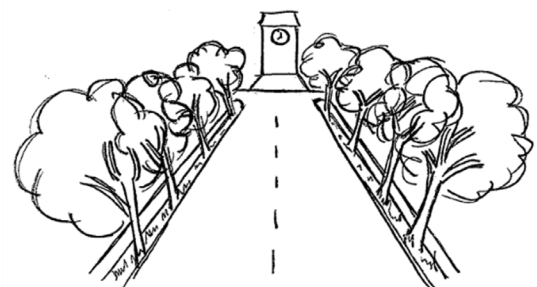
**Rear Yard** means that part of a site which extends across the full width of a site between the rear boundary and the nearest wall or supporting member of a principal building.

**Scale** is defined as the size of a building and its component parts in comparison with the size of neighbouring dwellings.

**Setback** is defined as the distance of a structure from a property line.

**Vista** means a scenic or panoramic view.

**Xeriscaping** means a method of landscaping that uses plants that can survive dry periods on their own without reliance on watering, fertilizer or other maintenance.



Vista